

13. Aida Bliss

13.1 Introduction

- 13.1.1 The proposed flood defences at Aida Bliss are located between the City Road car park to the north and Etruria Gardens to the south. Together with other defences along the east bank of the River Derwent they will help reduce flood risk to the residential community of Little Chester.
- 13.1.2 There is an existing flood wall along the top of the river bank with industrial units immediately behind the defence.
- 13.1.3 The Aida Bliss site has been vacant for many years despite previous planning applications being submitted for its redevelopment. The existing flood risk on the site has significantly hindered its re-development.
- 13.1.4 The aim of Our City Our River on this site is to increase the conveyance of flood water around St Mary's Bridge whilst providing a new defence that balances the need for the redevelopment of the site.
- 13.1.5 Under the Our City Our River delivery strategy, it is proposed that flood defences are delivered as an integral part of the redevelopment of this site. This will ensure that the defences are incorporated into a new urban landscape without forming a barrier between the local community and the river.

13.2 Aida Bliss

General Arrangement Drawing Number	20	Sections Drawing Number	67	Package	1
Type of planning application	Outline				
Proposed use	Flood defence and flood conveyance corridor.	Works carried out by:	Third party		

Key constraints

- 13.2.1 Aida Bliss is within the Little Chester Conservation Area. The existing frontage facing Chester Green makes a positive contribution to the character of the Little Chester Conservation Area and is therefore protected under conservation area legislation. The same applies for the original Victorian building that faces on to City Road car park.

Scale

- 13.2.2 Construction of a flood wall 130m long flood wall, up to 2.85m high, with piled foundations and a seepage cut-off.

Layout

- 13.2.3 The flood wall ties into eastern corner of the original Victorian façade facing the City road car park and follows an alignment that creates a 40m wide flood conveyance corridor at a level of 47.5m OD around Handyside Bridge and ties into the boundary of Etruria Gardens at a point 10m to the west of the boundary of 80 Etruria Gardens.



Figure 13.1: Aida Bliss façade facing Chester Green

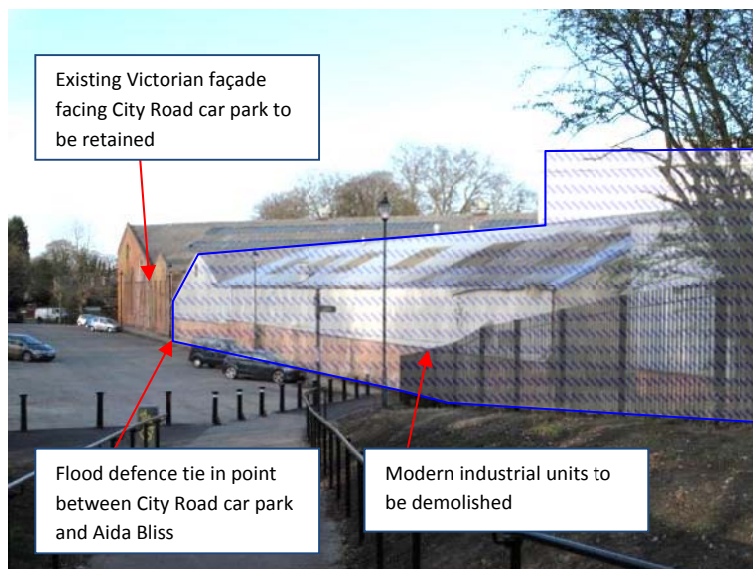


Figure 13.2: Aida Bliss façade facing City Road car park

Access (RESERVED MATTER)

- 13.2.4 Access to any redevelopment of the site will require the Victorian façade to be retained, though sensitive alterations may be necessary.
- 13.2.5 The Applicant will require access to inspect the integrated flood defence.
- 13.2.6 The Applicant will require access across the conveyance corridor from City Road car park to Etruria Gardens to inspect and maintain the riverward side of the proposed flood wall at Etruria Gardens.

Landscaping/external appearance (RESERVED MATTER)

- 13.2.7 The demolition of the existing buildings, except the frontage facing Chester Green and the Victorian frontage facing City Road car park, and the existing flood defence are required. Details of demolition and required mitigation will be subject to further applications.

- 13.2.8 The land of the riverward side of the proposed flood wall needs to be kept open such that it acts as functional floodplain.
- 13.2.9 The flood wall will be clad in materials to match the surrounding re-development of the site.

Potential environmental enhancement

- 13.2.10 There is the opportunity to contribute to the delivery of Water Framework Directive mitigation measures through the creation of new wetland habitat within the flood conveyance corridor.

Basis of design

- 13.2.11 A flood conveyance corridor is required around Handyside Bridge to minimise the increase in flood levels during severe flood events at Darley Abbey. The width of the conveyance corridor has been minimised such that it is not the critical throttle to flood flows through the city. All buildings within this conveyance corridor will need to be demolished to make space for flood water.
- 13.2.12 The application includes the demolition of all buildings on the site, with the exception of the Victorian façade, to enable the redevelopment of the site.
- 13.2.13 The proposed height of the flood defence takes a precautionary approach to climate change as if the defence is built as an integral part of the redevelopment of the site it is unlikely that it could be raised within the design life of the development.

Consultation

- 13.2.14 Discussions have been held with the land owners regarding the proposals for the site. Concerns have been raised about the economic viability of only being able to redevelop part of the land-holding. The width of flood conveyance corridor has therefore been minimised. The proposals include the consideration of an exchange of land between the Applicant and the landowner over City Road car park and the land on the west side of the proposed flood wall.
- 13.2.15 Discussions with the Little Chester Residents Association flagged concerns over the scale of any redevelopment of the site to make it economically viable, and the time-frame of any re-development given the need to reduce flood risk as soon as possible. The scale and proposed use of any redevelopment is not within the remit of this planning application and would be subject to a Reserved Matters application or a completely new planning application specific to this site. If redevelopment proposals do not come forward in an appropriate timescale, the Applicant can use its compulsory purchase powers to acquire the site, as defined in Section 4.7 of this Statement, and bring forward its own development proposals.